



TOWN OF WARRENTON

POST OFFICE DRAWER 341
WARRENTON, VIRGINIA 20188-0341
<http://www.warrentonva.gov>
TELEPHONE (540) 347-1101
FAX (540) 349-2414
TDD 1-800-828-1120

ARCHITECTURAL REVIEW BOARD

AGENDA

April 28, 2016

7:00 PM

1. Call to Order
2. Determination of a Quorum
3. Purpose of Architectural Review Board; Statement of Qualifications of Architectural Review Board
4. Approval of Minutes – March 24, 2016
 - A. At the March 24, 2016 meeting the Board approved the Certificate of Appropriateness for 41 Beckham Street as **COA 16-8**. However, this is an error to be corrected in the record of minutes to reflect the Certificate of Appropriateness as **COA 16-9**.
5. New Business
 - A. **Certificate of Appropriateness 16-10.** Replace copper roof with metal roof at 329 Falmouth St, Kristin Stobo, Owner; Michael Dawson, Contractor.
 - B. **Certificate of Appropriateness 16-12.** Front façade improvements to 63 Main Street, Charlie Phillips, Owner; David A. Norden AIA., Architect.
 - C. **Certificate of Appropriateness 16-13.** Addition of screened porch on rear of residence at 32 South Sixth Street, Ed & Terra Phillips, Owners; David A. Norden AIA., Architect.
 - D. **Certificate of Appropriateness 16-14:** Retroactive replacement of a projecting sign at 81B Main Street, RJ Judd, Agent (Sign Doctor Sales & Service Inc.).
6. Work Session
7. Adjourn



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ARCHITECTURAL REVIEW BOARD

Staff Analysis COA 16-10

April 28, 2016

Applicant: Michael Dowson
Owner: Kristin Stobo
Address: 329 Falmouth Street
GPIN: 6984-51-9534
Zoning: Residential R-6
Type: Replace Roof

Proposal:

The applicant proposes to replace the existing copper roof with an enameled metal roof. The proposed roof would be in a classic copper color, which is 24 gauge Fluorocarbon steel. The material would be double crimped at the ridge. An example of the proposed material with a crimped seam will be provided at the meeting.

Historic and Architectural Significance:

The circa 1880 house is a contributing resource in the Warrenton Historic District. The 2-story, 2-bay Vernacular house has a gable roof and a 1-story porch with a shed roof and Tuscan columns. The house was once used as a day school. The lot is bordered by a privet hedge in the front and slopes steeply to the rear. The landscaped setting expresses the tranquility of the street and contributes to the charm of the district.

Zoning Ordinance Considerations:

The subject property is zoned Residential (R6). Replacement of an existing roof does not interfere with setback or height issues of the Zoning Ordinance.

Certain minor actions are exempted from review before the Architectural Review Board. Article 3-5.3.4.1 Certain Minor Actions Exempted from Review by the Architectural Review Board of the Town's Zoning Ordinance states:

2. Replacement of missing or broken window panes, roofing slates, tiles, or shingles and except on landmark structures outside doors, window frames, or shutters where no substantial change in design or material is proposed.

In this instance, it is outside of staff purview to make a determination whether the project is in keeping with the character of the existing structures and the surroundings. Consequently, the Architectural Review Board would review this proposal.

Historic District Guidelines Considerations:

Existing Roofs

The principal roof forms include flat, hipped, mansard, gambrel, shed (half gable), gable and pyramidal. There are several variations or combinations of these resulting in cross gables, a clipped or jerkin-head gable which has a short hip slant at the gable end and the rare gable roof on top of a hip. The rise of a wall above the eave creates a parapet roof. The repetition of the slope and pitch height of the roof in a particular architectural style ultimately made the form an easily recognized feature of that design. A gambrel roof immediately suggests Dutch influence and is a prominent character-defining feature of the Dutch Colonial Revival style. The Greek Revival roof has a lower pitch than the steeply-pitched gable of its Federal-style predecessor. The low-pitched hipped roof with wide overhanging eaves is associated with the Italianate style, as the mansard roof prominently indicates the Second Empire.

Metal - Iron, Copper & Lead

Early metal covers were possible since its usage in the form of sheet iron, copper and lead in America dates to the mid-eighteenth century, but the mostly imported material remained rare on roofs until the nineteenth-century. Colonists used lead for flashing, gutters and down spouts before the American Revolution. By itself, lead did not hold up well under thermal freezes or hot summers here, and it rusted and crept or moved down the roof. Although Thomas Jefferson recognized the problems with lead, he ordered sheet lead for the new roof at Monticello in 1807. The year after his death in 1825, John Hemings re-roofed Monticello with tin as had been used on the new buildings at the University of Virginia.

Modern Substitutes for Standing-Seam Metal

Many of the historic or contributing buildings in the historic district have retained their original standing-seam metal roofs for 100-150 years without replacement because of regular paint maintenance. However, the modern roofing industry has followed the example set by substitute wall surface manufacturers with its own new low maintenance synthetic replacement products. The development of synthetic plastic, acrylic or vinyl multi-layer coating systems for underground piping occurred in the 1980s. Taken a step further, a similar oven-baked factory coating of polyvinylidene fluoride (PVDF), fluoropolymer, fluorocarbon resin was applied to galvanized standing-seam metal for roofs. However, these heavy gauge pre-coatings tend to conceal the naturalness of metal.

Initially produced for new commercial, office and industrial buildings, pre-coated systems expanded to the residential community. While galvanized metal has historic precedence as an alloy of natural mineral metals for rust and corrosion resistance in the district, it has no synthetic content. The thick, twelve-layered, pre-painted coating system obscures the character-defining wavy pattern and irregular appearance common to earlier standing-seam metal or tin roofs. Historic standing-seam metal roofs were formed onsite. They are less rigid and receive light and

shadows with greater depth and angles. The vinyl and plastic resin coated systems also have raised, exaggerated and wider ridge caps and broader seams than the contributing standing-seam metal roofs.

Also in the 1980s, the steel industry developed a Galvalume product composed of steel dipped in an alloy of fifty-five percent aluminum and forty-five percent zinc to provide a thirty to forty year maintenance-free standing-seam surface. The material alone may be compatible with traditional metal substances. However, it comes either pre-painted in the synthetic, acrylic and/or vinyl coating explained above for a potential twenty-year lifetime of the baked-on coating or unpainted. If left bare, this luminous galvanized metal has a bright and glaring metallic finish which also does not replicate the appearance of historic or contributing standing-seam metal roofs. As of October 2013, Terne, the most widely used paintable roof material is no longer being manufactured, making unpainted or bare standing seam roofs less practical to obtain. When formed onsite, pre-painted/finished Galvalume is the closest available match to traditional standing seam roofs, and should be considered appropriate when applied per the guidelines. Similarly, other pre-painted metals should be considered appropriate when applied consistent with the guidelines.

Guidelines for Existing Roofs

The following guidelines shall be used in conjunction with the previous guidelines for roof elements.

- 1. The building should be recognized as a product of its period of construction in craftsmanship, design, style, texture, materials, and historic character. Retain, protect and repair the original roof form including shape, line, pitch and overhang as well as contributing roof coverings and their details.*

- 5. When a contributing roof covering is deteriorated beyond repair, the new roofing if possible should match in material, dimension, space composition, texture, pattern, design and details. If the existing material is not available, the material utilized should match as closely as possible.*

- 10. Pre-painted/pre-finished metal roofs may be applied to contributing buildings, consistent with the following criteria:*
 - The material shall be no heavier than 26 gauge, and must be formed from rolled material on site.*
 - Running Seams shall be less than 1 ½ inches high and shall be hand or machine crimped on site. The distance between seams should be no greater than 18 inches. Snap locking seams are not an acceptable method to join pans. Running seams are required to be double locked.*
 - Hip and ridge seams shall be less than 1 ½ inches high and shall be hand or machine crimped. Hip and Ridge seams may be single locked. Hip and ridge caps are not acceptable.*
 - Dull or matte finishes are required. Bright colors are discouraged. The applicant shall supply a sample of the pre-finished metal roofing materials they wish to apply, including at least one (1) crimped seam. Color chips are not acceptable.*

12. *Copper metal or copper standing-seam metal roofs are encouraged when the existing contributing metal roof cover is deteriorated beyond repair because the durable mineral requires no paint and naturally darkens. Copper shall not be painted after installation but allowed to darken naturally.*

Analysis and Staff Recommendation:

The proposed roof complies with the Zoning Ordinance. The Historic District Guidelines states that “*When a contributing roof covering is deteriorated beyond repair, the new roofing if possible should match in material, dimension, space composition, texture, pattern, design and details.*” The applicant is requesting the use of 24 gauge roof material and the Historic District Guidelines state that the roof material be no heavier than 26 gauge. Staff leaves it to the Board’s discretion in determining the appropriateness of the proposed roof. If approved, a building permit must be acquired.



TOWN OF WARRENTON, VIRGINIA
18 Court Street, P.O. Drawer 341
Warrenton, VA 20188-0341
(540) 347-2405

ARCHITECTURAL REVIEW
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

No. 2016-10

Name of Applicant: Kristin Stobo
Doing Business As (if applicable): _____
Address of Applicant (including Zip): 329 Falmouth St Warrenton 20186
Telephone Number: 540.905.9213
Email: Spoonful of sugar @ comcast.net
Location of Property: 329 Falmouth Street

Relationship of Applicant to Property (lessee, owner): owner
Complete description of each modification or improvement:
replace existing copper roof with enameled metal roof

Do all drawings, material samples, and other submissions required on page one accompany this application? Yes No. _____

Is there an application relevant to this property and the subject modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission, or Town Council: Yes _____ No

If so, specify: _____

Who will represent the applicant before the ARB? (Representative must have the authority to commit the applicant to make changes that may be suggested or required by the Board.)

Name: Michael Dawson
Title or Relationship to Applicant: Contractor
Address (including ZIP): 7305 John Marshall Hwy The Plains 20198
Telephone Number: 540 878. 1341
Email: _____

Kristin Stobo
Signature of Property Owner

Signature of Applicant or Agent

Kristin Stobo
Name (print or type)

Name (print or type)

3-20-16
Date

Date

2016-10



RECEIVED
MAR 25 2016
COMMUNITY DEVELOPMENT
TOWN OF WARRENTON

from inside window

2016-10



front of house

RECEIVED
MAR 25 2016
COMMUNITY DEVELOPMENT
TOWN OF WARRENTON

2016-10



near

RECEIVED
MAR 25 2016
COMMUNITY DEVELOPMENT
TOWN OF WARRENTON



Metal Systems Color Availability

UNA-CLAD™ METAL PANEL COLOR SELECTION GUIDE



Stone White



Bone White



Almond



Sandstone



Slate Gray



Cityscape



Charcoal Gray



Sierra Tan



Medium Bronze



Dark Bronze



Extra Dark Bronze



Matte Black



Brandywine



Colonial Red



Terra Cotta



Mansard Brown



Regal Red



Award Blue



Sky Blue



Electric Blue



Regal Blue



Teal



Patina Green



Dark Ivy



Sherwood Green



Hartford Green



Hemlock Green



Tropical Patina



Silver Metallic



Classic Copper



Champagne Metallic

Firestone
BUILDING PRODUCTS
NOBODY COVERS YOU BETTER.™

Colors shown are as close to actual painted steel as allowed by the printing process. Contact your local sales rep for actual metal samples.

Color Selection Guide

PVDF FINISH	R	E	SRI	STEEL ¹			STEEL ²	ALUMINUM			
				26	24	22	24	.032	.040	.050	.063
Almond ◇◇	0.57	0.86	67		◆	◆		◆	◆	◆	◆
Bone White ◇◇	0.72	0.84	87	◆	◆	◆	◆	◆	◆	◆	◆
Brandywine ☆	0.25	0.85	23		◆	◆		◆	◆	◆	
Charcoal Gray ◇◇	0.29	0.84	28	◆	◆	◆	◆	◆	◆		
Cityscape ☆◇	0.35	0.85	37	◆	◆	◆		◆	◆	◆	
Colonial Red ◇◇	0.31	0.84	31	◆	◆	◆	◆	◆	◆	◆	
Dark Bronze ☆	0.26	0.84	24	◆	◆	◆	◆	◆	◆	◆	◆
Dark Ivy ☆	0.25	0.83	22	◆	◆	◆		◆	◆		
Extra Dark Bronze	0.06	0.87	0		◆	◆		◆	◆	◆	
Hartford Green	0.10	0.82	2	◆	◆	◆	◆	◆	◆	◆	
Hemlock Green ☆◇	0.32	0.86	33		◆	◆			◆	◆	
Mansard Brown ☆◇	0.30	0.85	30	◆	◆	◆	◆	◆	◆	◆	
Matte Black ◇◇	0.25	0.86	24	◆	◆	◆		◆	◆	◆	◆
Medium Bronze ☆◇	0.30	0.87	31	◆	◆	◆	◆	◆	◆	◆	◆
Patina Green ☆◇	0.26	0.86	25		◆			◆	◆	◆	
Regal Blue	0.16	0.86	12		◆	◆		◆	◆	◆	
Regal Red ☆◇	0.42	0.84	46	◆	◆	◆		◆	◆	◆	
Sandstone ☆◇	0.51	0.85	58	◆	◆	◆	◆	◆	◆	◆	◆
Sherwood Green ☆◇	0.27	0.85	26	◆	◆	◆	◆	◆	◆	◆	
Sierra Tan ☆	0.35	0.86	37	◆	◆	◆	◆	◆	◆	◆	◆
Sky Blue ☆◇	0.29	0.85	29		◆					◆	
Slate Gray ☆◇	0.36	0.86	38	◆	◆	◆	◆	◆	◆	◆	
Stone White ☆◇	0.57	0.86	67	◆	◆	◆	◆	◆	◆	◆	◆
Teal	0.13	0.85	7		◆	◆			◆		
Terra Cotta ☆◇	0.34	0.87	36	◆	◆	◆		◆	◆	◆	
Tropical Patina ☆	0.28	0.85	27		◆				◆		
Award Blue ★	0.15	0.84	9		◆				◆		
Electric Blue ★	0.20	0.84	16		◆				◆		
Champagne Metallic ☆★	0.37	0.83	38		◆	◆			◆		
Classic Copper ☆◇★	0.42	0.86	46		◆				◆		
Silver Metallic ☆◇★	0.59	0.77	67		◆	◆		◆	◆	◆	◆

New 35-Year Warranty available for all finishes

LEGEND

Steel Types:

- ¹G-90 Galvanized Steel
- ²AZ-50 Galvalume® Steel

Cool Roofing Information:

- R**– Initial Solar Reflectance
- E**– Initial Emissivity
- SRI**–Solar Reflective Index

☆ – Energy Star® qualified products

◇ – CRRC -listed finish

★ – Premium Color

NOTES

- All paint finishes are high quality PVDF (Kynar 500® / Hylar 5000®) colors.
- Custom colors are available.
- Copper and zinc available; stainless steel and mill finish aluminum available in limited stock.
- Protective film must be removed immediately after installation.

Galvalume® is a registered trademark of BIEC International, Inc.

Kynar 500® is a registered trademark of Arkema, Inc.

Hylar 5000® is a registered trademark of Solvay Solexis, Inc.

Contact your local sales representative for specific stocking information. Not all colors and gauges are stocked in all locations. Due to product improvements, changes and other factors, we reserve the right to change or delete information herein without prior notice. Please refer to our online document for the most up-to-date information.

For more information, contact your local Sales Rep or visit FIRESTONEBPCO.COM.

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ARCHITECTURAL REVIEW BOARD

Staff Analysis COA 16-12

April 28, 2016

Applicant: Charlie Phillips
Owner: XSTELE.com LLC
Address: 63 Main Street
GPIN: 6984-43-4541
Zoning: Central Business District – CBD
Type: Front Façade Improvements

Proposal:

The applicant proposes front façade improvements to 63 Main Street. Work includes:

- Removing/replacing shutters with wooden shutters
- Cut back existing brick sill to fit trim beside
- Remove existing crawl space vents, patch brick to match existing, & mechanically ventilate crawl space
- Remove existing drain leader from neighbor's building & repair from there down to sidewalk with new round painted drain leader
- Add Spanish cedar crown molding & trim
- Continue metal flashing on Spanish cedar cap

Historic and Architectural Significance:

This circa 1830 structure was built as a residence, but became commercial in the 1940's. The building has been remodeled but retains its basic Federal-Style character. This is a contributing resource in the Warrenton Historic District. The building is a 2-story, 2-bay masonry structure with a brick cornice, 6/6 double-hung sash windows with molded trim.

Zoning Ordinance Considerations:

The subject property is zoned CBD. The proposed front façade improvements do not interfere with encroachment issues within the Zoning Ordinance.

Substantial alterations not exempted from review by the Architectural Review Board, per Article 3-5.3.4.2 of the Town's Zoning Ordinance includes:

3. Any change or alteration of the exterior architectural style of a contributing or landmark structure, including removal or rebuilding of porches, openings, dormers, window sash, chimneys, columns, structural elements, stairways, terraces, and the like..

7. Any other major actions not specifically covered by the terms of this section but which would have a substantial effect on the character of the historic district.

In this instance, it is outside of staff purview to make a determination whether the project is in keeping with the character of the existing structures and the surroundings.

Historic District Guidelines Considerations:

Historic Resource Objectives & Policies

8. *To encourage improvement and use of rear facades and entrances of stores located on Main Street.*

Characteristics of the Architectural Styles

FEDERAL (1780-1820); locally to 1840

6. *Smooth facade and elevations in comparison to Georgian. No belt courses or water tables.*

Character of the Central Business District

Commercial Store/Houses

Having evolved over time, the lower facade elements are generally simple. Designed to attract attention and light, the display windows are intentionally made more prominent by the recessed entrance, composed of a single-leaf or double-leaf wood or metal door with a half or full light. There is often an elegant, patterned tile or mosaic masonry pavement in the entrance recess to differentiate from the sidewalk. A projecting bulkhead of wood paneling, masonry tiles or metal supports the display windows. Transparency and light was also achieved in a distinctive glazed transom above the entrance and display windows, but twentieth-century merchants frequently covered the etched, leaded or translucent square panes with wood or paint. Several of Warrenton's store/house facades have a wood-paneled door to the second floor.

Brick piers or wood pilasters typically frame the storefront and support a heavily molded cornice. The height of the frieze of this lower cornice sometimes allows for a sign band or wall sign. The upper facade has less window to wall space. The double-hung sash windows here usually have brick or stone lintels.

Guidelines for Existing Masonry Foundations, Walls, & Details

1. *Retain, protect and repair the masonry foundation, walls and masonry details or features of the building*

21. *Avoid designing and installing a new masonry feature for which there is no pictorial, physical or archaeological evidence, thereby giving a false historical impression.*

22. *Treatments to masonry foundations, walls and details should recognize their craftsmanship, historic character, texture, design, style and period of construction. When masonry materials are deteriorated beyond repair, replacement should be in kind to matching material in character, texture, style, design and appearance. When the use of substitute materials to replace historic materials is proposed, a licensed professional historic architect, builder, architectural engineer, historic preservation consultant or architectural conservator shall provide a written guarantee that the new substitute product or material will not compromise the architectural character and is the closest available match in texture, content, design, style, finish and appearance. Such new material will need verification that it will not cause structural, physical or fabric harm to the historic building. Specifications and at least three studies with photographs showing the proven performance level and maintenance on historic buildings must be provided for consideration.*

Existing Windows, Dormer Windows, Doors, Shutters, Awnings, and Details

1. *The building should be recognized as a product of its period of construction in design, style, texture, materials, historic character and craftsmanship. Retain, protect and repair the wood windows, dormers, doors, shutters and their details. Retain, protect and repair historic steel windows and leaded stained glass church windows.*
4. *Shutters should be operable, mounted to the frame and fit the size and shape of the opening of the window or door to which they are attached. Iron holdbacks fastened to the masonry or frame wall hold them open when not covering the opening. If appropriately-sized earlier wood shutters were replaced with smaller versions that do not fit into the opening and/or the replacement shutters are of aluminum or vinyl, consider restoring them to their original wood design provided that physical or pictorial evidence exists.*
20. *When deterioration of windows, dormers, doors, shutters and their other details is beyond repair, replacement shall be in kind to duplicate the old in size, composition, texture, design and appearance. Replacements for contributing buildings should not be of aluminum, vinyl or any synthetic including polyurethane, poly propylene, plastic, fiberglass, fiber composite, fiber-wood, fiber cement, wood-based, wood composite board or plywood.*
23. *Treatments to windows, dormers, doors, shutters (awnings if any become historic) and their details should recognize their craftsmanship, design, texture, style, historic character and period of construction. When they or any part of them are deteriorated beyond repair, replacement should be in kind to matching material and appearance. When the use of substitute materials to replace historic materials is proposed, a licensed professional historic architect, builder, architectural engineer, historic preservation consultant or architectural conservator shall guarantee in writing to the board that the new substitute product or material is the closest available match in texture, content, design, style and appearance. Such new material will need verification that it will not cause structural, physical or fabric harm to the historic building. Specifications and at least three studies with photographs showing the proven performance level and maintenance on historic buildings must be provided for consideration.*

Guidelines for Gutters & Down Spouts

4. *Gutters, down spouts and their fasteners should be of wood or metal. Unless the preferred copper metal is used, paint their surfaces for protection and to blend into the facade. Fasten gutters and down spouts in the least harmful manner to the historic fabric and architectural detailing of the building.*
5. *More appropriate for use on contributing buildings, half-round gutters and round down spouts are encouraged*

Guidelines for Additions to Existing Buildings

The following guidelines shall be used in conjunction with the previous guidelines for building elements.

1. *The existing building will be recognized as a product of its period of construction, design, materials and craftsmanship.*
2. *Additions will cause the least possible diminution or loss of the historic character of the existing building including its materials, craftsmanship, design, location and setting.*
16. *Additions to historic buildings should recognize the craftsmanship, design, style, texture, materials, historic character and period of construction of the original building.*

Analysis and Staff Recommendation:

The proposed front façade changes comply with the Zoning Ordinance. The Historic District Guidelines states that “Contributory buildings may contain significant architectural elements that require preservation or they may be critical to the context of the District by creating an atmosphere of style and cultural place that is a significant part of the Town’s history.” Staff leaves it to the Board’s discretion in determining the appropriateness of the proposed front façade change. If approved, a building permit must be acquired.



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COMMUNITY DEVELOPMENT
TOWN OF WARRENTON

ARCHITECTURAL REVIEW
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

No. 2016-12

Name of Applicant: CHARLIE PHILLIPS
Doing Business As (if applicable): XSTELE.COM, LLC
Address of Applicant (including Zip): 7951 GAINSFORD COURT, BRISTOL, VA 20136
Telephone Number: 561-756-7130
Email: CPHILLIPS@XSTELE.COM
Location of Property: 63 MAIN STREET

Relationship of Applicant to Property (lessee, owner): OWNER

Complete description of each modification or improvement:

IMPROVEMENTS TO FRONT FACADE

Do all drawings, material samples, and other submissions required on page one accompany this application? Yes No

Is there an application relevant to this property and the subject modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission, or Town Council: Yes No

If so, specify: _____

Who will represent the applicant before the ARB? (Representative must have the authority to commit the applicant to make changes that may be suggested or required by the Board.)

Name: DAVID A. NORDEN, AIA
Title or Relationship to Applicant: ARCHITECT
Address (including ZIP): 11 WINCHESTER STREET, WARRENTON, VA 20186
Telephone Number: 540-347-4232
Email: DAVID@HSNAIA.COM

Signature of Property Owner

Signature of Applicant or Agent

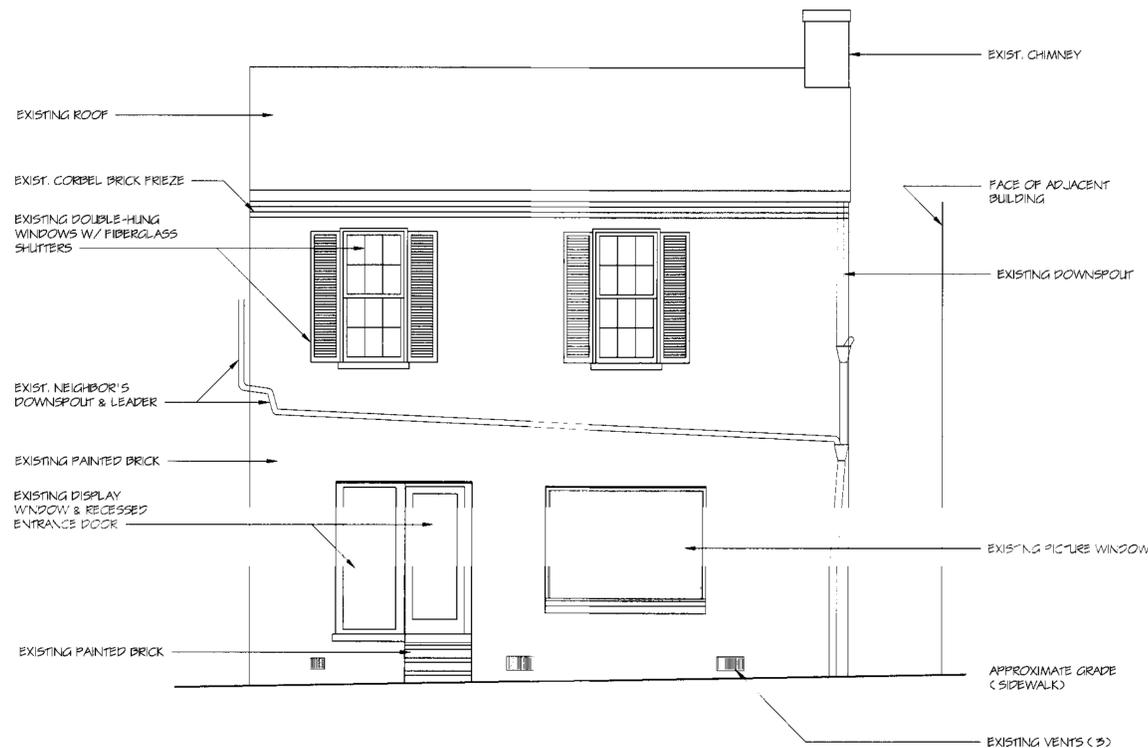
Name (print or type)

DAVID A. NORDEN, AIA
Name (print or type)

Date

3/31/16
Date

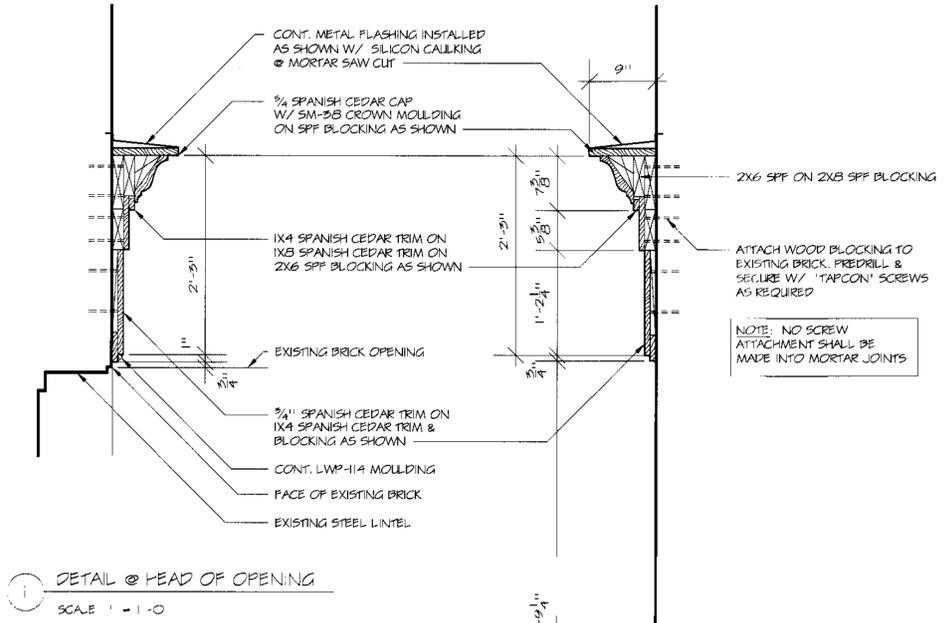




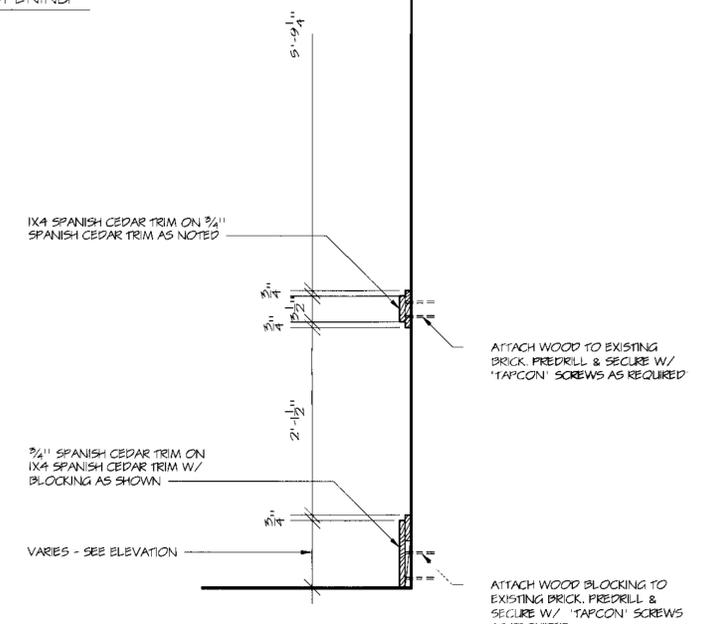
FRONT ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



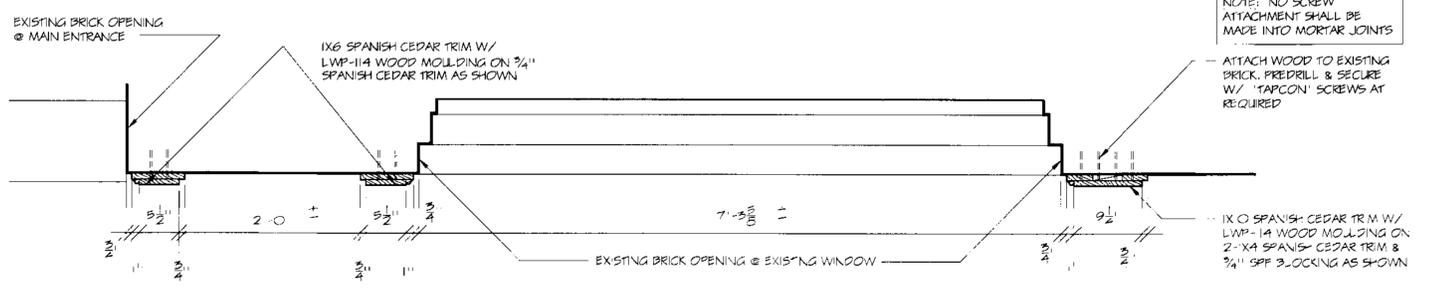
FRONT ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



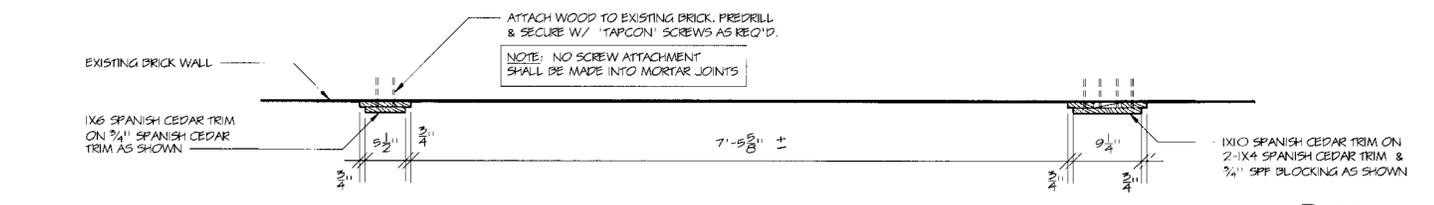
1 DETAIL @ HEAD OF OPENING
SCALE 1" = 1'-0"



2 DETAIL @ CORNICE & TRIM SECTION
SCALE 1" = 1'-0"



3 DETAIL @ WINDOW & TRIM SECTION
SCALE 1" = 1'-0"



4 DETAIL @ WALL & TRIM SECTION
SCALE 1" = 1'-0"

HINCKLEY • SHEPHERD • NORDEN, P.L.C.
A R C H I T E C T S
19 WINCHESTER STREET WARRENTON, VIRGINIA 20186 540-347-4232

JOB ALTERATIONS TO THE 63 MAIN ST. BUILDING FOR CHARLIE PHILLIPS
WARRENTON, VA 20186
DWG A-1
REVISION
SHEET EXIST. & REMODELED ELEVATIONS, DETAILS
COMM NO. 1037 DRAWNPK SCALE AS NOTED DATE 04-01-16
2016-12

RECEIVE
APR 1 2016
COMMUNITY DEVELOPMENT
TOWN OF WARRENTON



TOWN OF WARRENTON

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ARCHITECTURAL REVIEW BOARD

Staff Analysis COA 16-13

April 28, 2016

Applicant: Ed & Terra Phillips
Owner: Ed & Terra Phillips
Address: 32 South Sixth Street
GPIN: 6984-42-7822-000
Zoning: Residential: R-6
Type: Addition of screened porch

Proposal:

The applicant proposes to add a screened porch on the rear of the residence. The porch will have a painted galvanized flat seam metal roof, Hardi plank siding, black aluminum screening, a prefabricated fireplace, Trex decking, a deck landing and stairs, and Spanish cedar handrails, horizontal lattice, fascia board, and trim. The proposed addition would replace an existing rear window and door with a new door unit.

Historic and Architectural Significance:

The circa 2005 house is a non-contributing resource in the Warrenton Historic District.

Zoning Ordinance Considerations:

The subject property is zoned R-6. The porch must meet size and setback requirements per Articles 9-1.1 and 9-1.2 of the Zoning Ordinance, and shall not exceed thirty (30) percent of the area of the rear yard, shall not exceed 25% of the total area of the principal structure, and shall not be located closer than five (5) feet from the side and rear property lines. The walls must meet height and setback requirement per Articles 2-19.1 and 2-19.2.

Certain minor actions are exempted from review before the Architectural Review Board. Article 3-5.3.4.1 Certain Minor Actions Exempted from Review by the Architectural Review Board of the Town's Zoning Ordinance states:

6. Minor additions or deletions to the structure or accessory structures which will not substantially change the architectural character of the structure or which are generally hidden from public view.

7. Construction of accessory buildings and structures on properties which are not designated as landmark or contributing properties and which are generally in keeping with the character of the existing structure and its surroundings.

Substantial alterations not exempted from review by the Architectural Review Board, per Article 3-5.3.4.2 of the Town's Zoning Ordinance includes:

2. Any addition to or alteration of a structure which increases the square footage of the structure or otherwise alters substantially its size, height, contour, or outline.

4. Addition or removal of one (1) or more stories or alteration of a roof line.

In this instance, it is outside of staff purview to make a determination whether the project is in keeping with the character of the existing structures and the surroundings. Consequently, the Architectural Review Board would review this proposal.

Historic District Guidelines Considerations:

Non-contributory Structures

Non-contributory structures should not have to meet the same criteria as other resources within the Historic District. The architectural significance and the style do not suggest the use of the same criteria by the ARB as consideration of their improvement, renovation or expansion. There is more flexibility in the design, texture, use of materials and architectural compatibility as contributory structures. Those non-contributory structures which are located amidst other contributing buildings or are in a location to significantly contribute to the District as a whole, should reflect the surrounding character of the area and be reviewed with compatibility of the District and its character in mind.

Guidelines for Existing Windows, Dormer Windows, Doors, Shutters, Awnings & Details / Guidelines for Existing Roofs

1. *The building should be recognized as a product of its period of construction in design, style, texture, materials, historic character and craftsmanship. Retain, protect and repair the wood windows, dormers, doors, shutters and their details. Retain, protect and repair historic steel windows and leaded stained glass church windows.*

Guidelines for Addition(s) to Existing Buildings

The following guidelines shall be used in conjunction with the previous guidelines for building elements.

1. *The existing building will be recognized as a product of its period of construction, design, materials and craftsmanship.*
2. *Additions will cause the least possible diminution or loss of the historic character of the existing building including its materials, craftsmanship, design, location and setting.*
11. *Unpainted, pressure-treated wood or vinyl decks are inappropriate porch additions. Traditional historic style painted wood porches are preferred. Expanded porches shall*

continue the original design and treatment. Should the addition be a chimney, its material should conform to the building's foundation or wall surface.

12. ROOF form of an addition should be consistent with the contributing building and streetscape. The roof covering should be similar to the building in texture and material.

14. MATERIALS - Refer to No. 9 and choose natural traditional building materials that are compatible with the contributing building primarily. Depending on the building and addition type and design, brick, stone, concrete block, cinder block, true masonry stucco, frame weatherboard, board and batten and vertical plank wall surfaces are acceptable materials. Additions to historic buildings require a higher standard than modern buildings outside the district or a new building construction. Never use simulated wall surfacing products such as EIFS, Dryvit, synthetic stone or synthetic brick, synthetic masonry, fiber-cement, synthetic wood, vinyl, aluminum, wood-based, composite plywood sidings, fiber wood or fiberglass on additions to contributing buildings. Such products should not be used on other architectural details on additions.

Analysis and Staff Recommendation:

The proposed porch must comply with the Zoning Ordinance size and setback requirements. The Historic District Guidelines states that “*Non-contributory structures should not have to meet the same criteria as other resources within the Historic District. The architectural significance and the style do not suggest the use of the same criteria by the ARB as consideration of their improvement, renovation or expansion. There is more flexibility in the design, texture, use of materials and architectural compatibility as contributory structures.*” Staff leaves it to the Board’s discretion in determining the appropriateness of the proposed porch. If approved, a building permit must be acquired.



TOWN OF WARRENTON, VIRGINIA
18 Court Street, P.O. Drawer 341
Warrenton, VA 20188-0341
(540) 347-2405

COMMUNITY DEVELOPMENT
TOWN OF WARRENTON

ARCHITECTURAL REVIEW
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

No. 2016-13

Name of Applicant: ED & TERRA PHILLIPS
Doing Business As (if applicable):
Address of Applicant (including Zip): 32 SOUTH SIXTH STREET, WARRENTON
Telephone Number: 561-756-1643
Email: TERRA.PHILLIPS@GMAIL.COM
Location of Property: 32 SOUTH SIXTH STREET

Relationship of Applicant to Property (lessee, owner): OWNER
Complete description of each modification or improvement:
ADDITION OF A SCREENED PORCH ON REAR OF RESIDENCE

Do all drawings, material samples, and other submissions required on page one accompany this application? Yes ___ No. [X]: THEY WILL BE SUBMITTED IN A FEW DAYS

Is there an application relevant to this property and the subject modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission, or Town Council: Yes ___ No [X]

If so, specify: _____

Who will represent the applicant before the ARB? (Representative must have the authority to commit the applicant to make changes that may be suggested or required by the Board.)

Name: DAVID A. NORDEN, AIA
Title or Relationship to Applicant: ARCHITECT
Address (including ZIP): 19 WINCHESTER STREET, WARRENTON, VA 20186
Telephone Number: 540-347-4232
Email: DAVID@HSNAIA.COM

Signature of Property Owner

[Handwritten Signature]
Signature of Applicant or Agent

Name (print or type)

DAVID A. NORDEN, AIA
Name (print or type)

Date

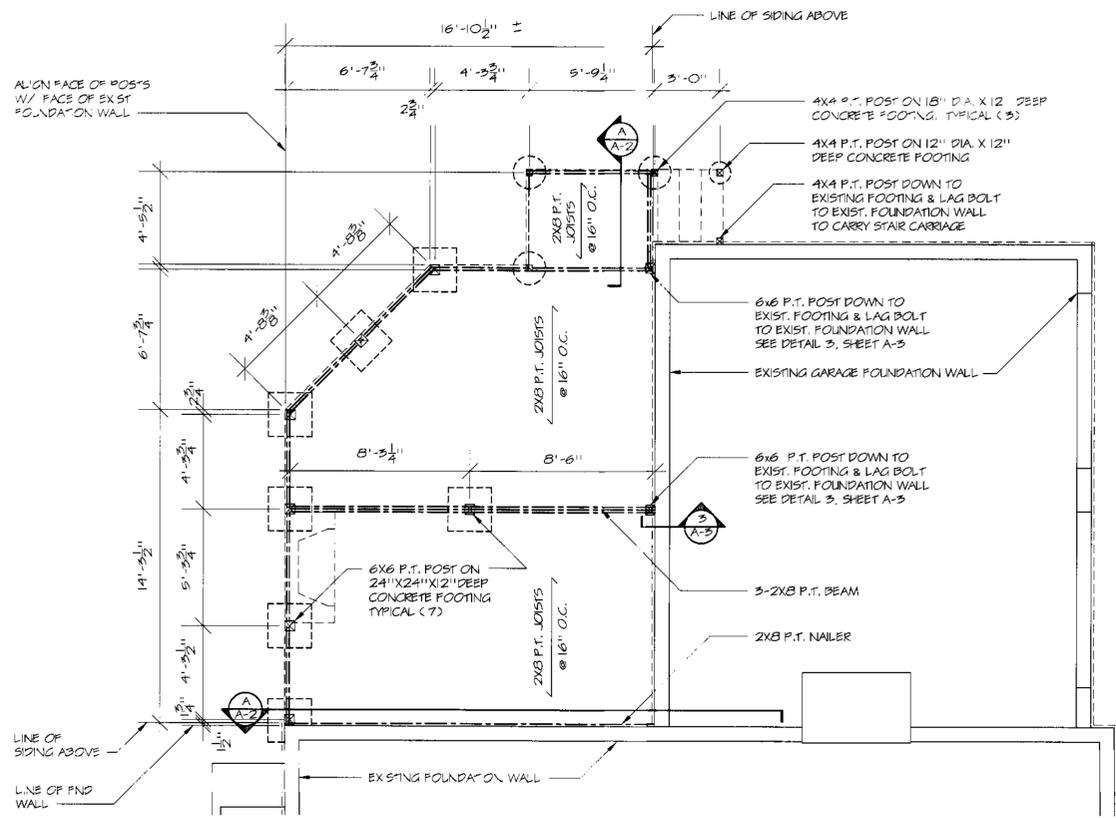
3/31/16
Date



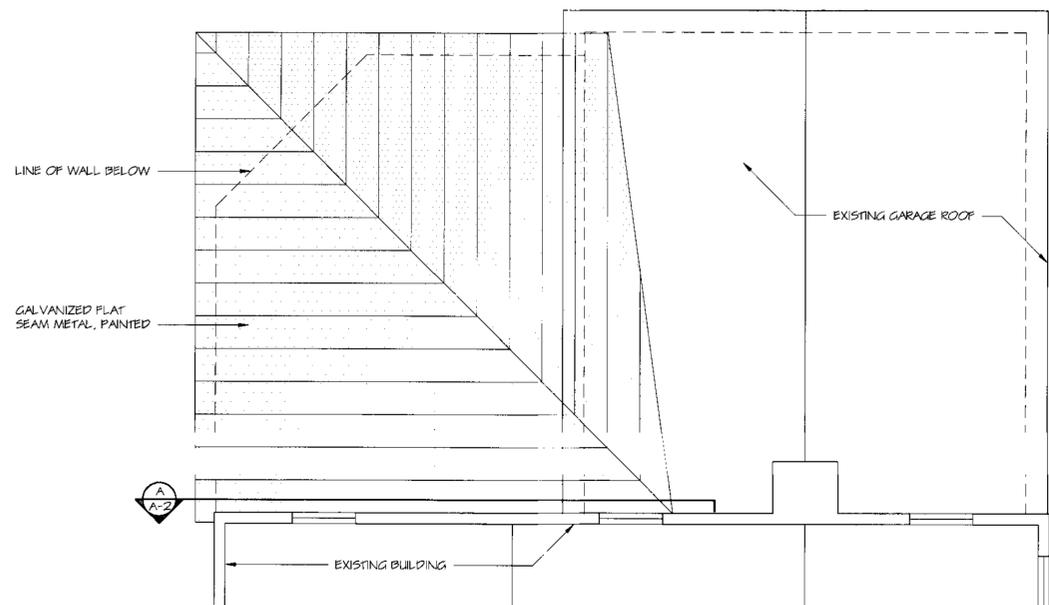
2016-13



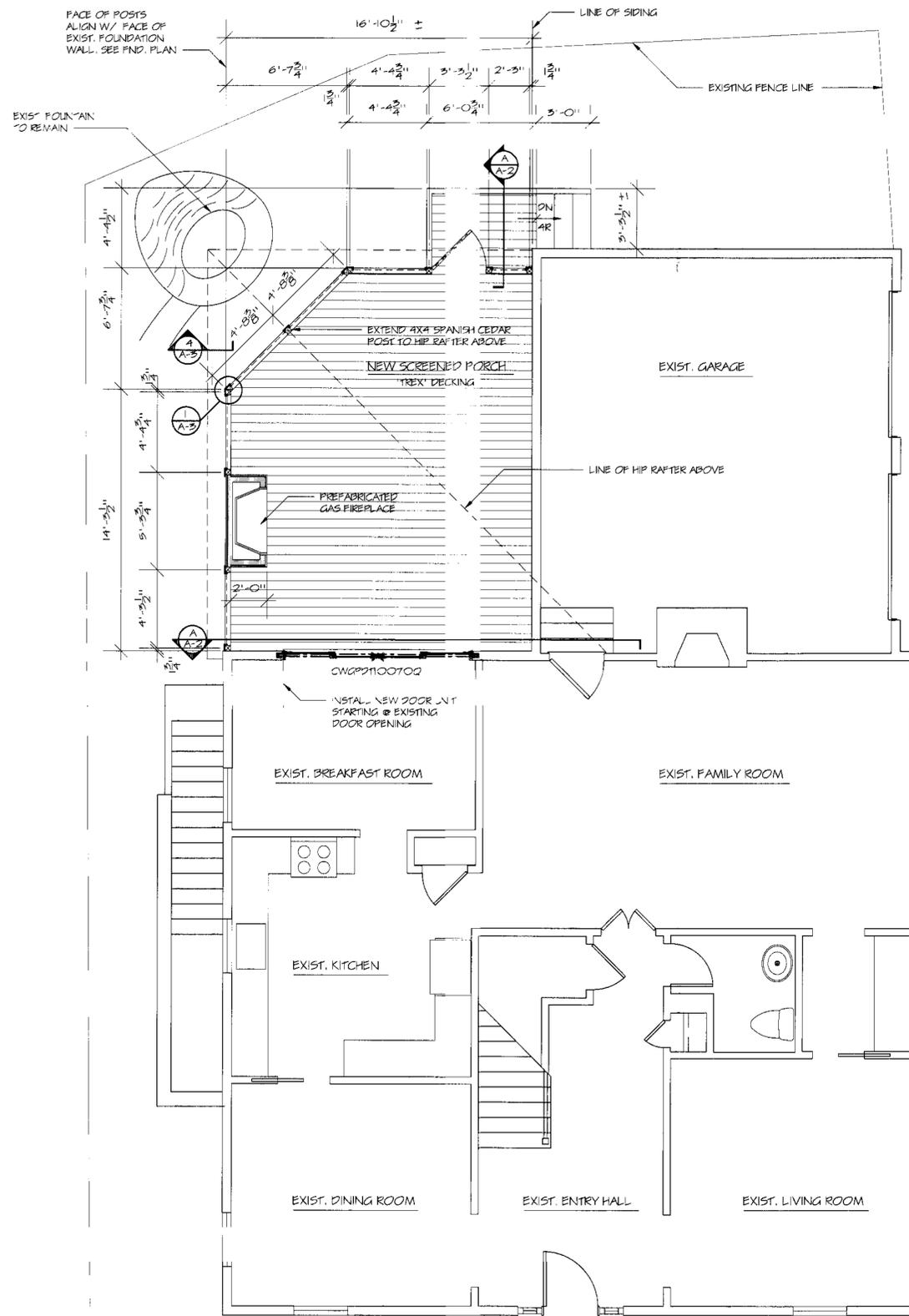
2016-13



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"



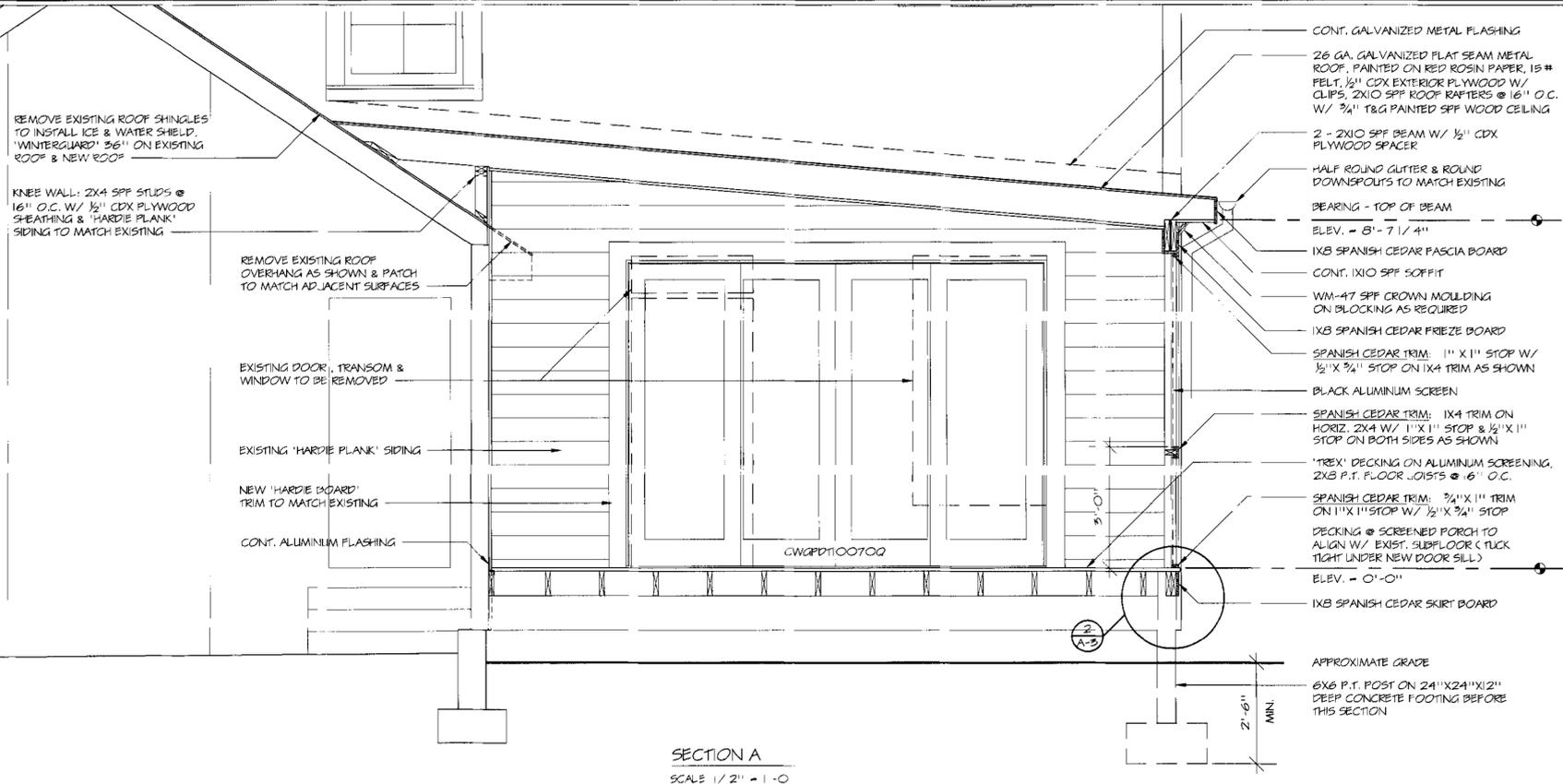
HINCKLEY • SHEPHERD • NORDEN, P.L.C.
 ARCHITECTS
 19 WINCHESTER STREET WARRENTON, VIRGINIA 20186 540-347-4232

JOB SCREENED PORCH ADDITION TO THE RESIDENCE OF ED & TERRA PHILLIPS
 92 S. 6TH STREET WARRENTON, VIRGINIA

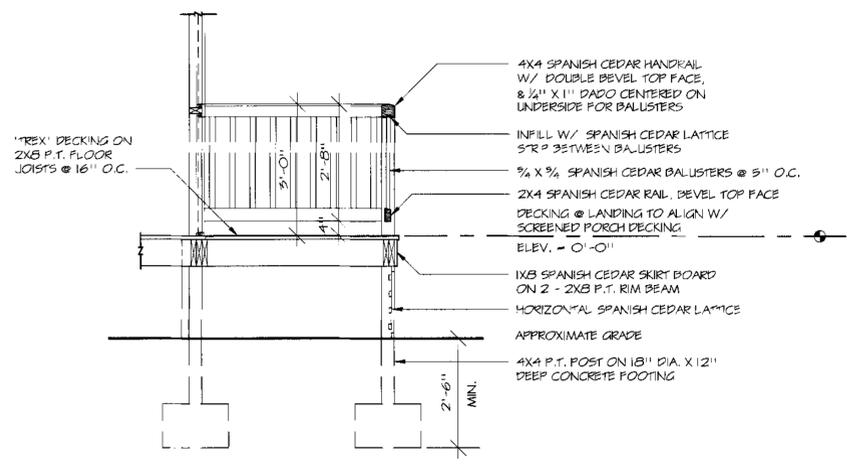
SHEET FOUNDATION, FLOOR & ROOF PLANS
 COMM NO. 10246 DRAWN/PK SCALE AS NOTED DATE XX-XX-2016

DWG REVISION A-1

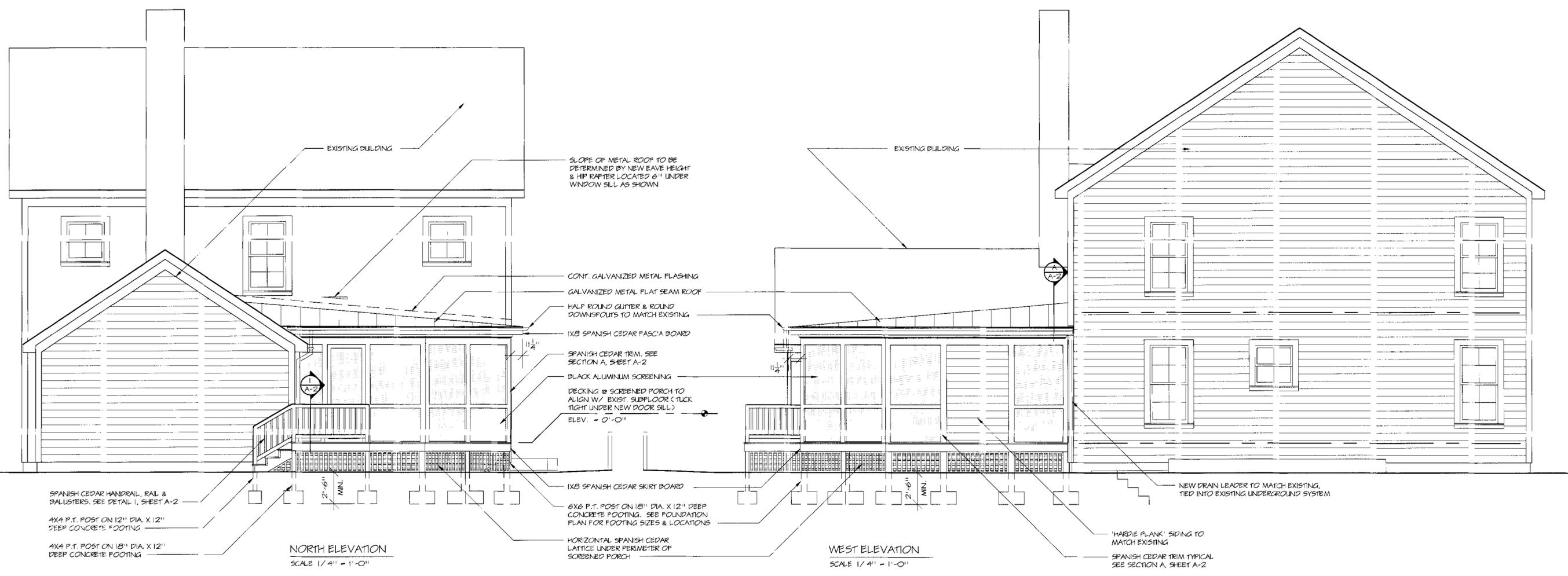
2016-13



SECTION A
SCALE 1/2" = 1'-0"



1 DETAIL @ DECK LANDING
SCALE 1/2" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

WEST ELEVATION
SCALE 1/4" = 1'-0"

HINCKLEY • SHEPHERD • NORDEN, P.L.C.
A R C H I T E C T S
19 WINCHESTER STREET WARENTON, VIRGINIA 20186 540-347-4232

JOB SCREENED PORCH ADDITION TO THE RESIDENCE OF ED & TERRA PHILLIPS
32 S. 6TH STREET WARENTON, VIRGINIA

SHEET NORTH & WEST ELEVATIONS, SECTION A & DETAIL
COMM NO. 1026 DRAWN PK SCALE AS NOTED DATE XX-XX-2016

REVISION	DWG
	A-2



TOWN OF WARRENTON

POST OFFICE DRAWER 341
WARRENTON, VIRGINIA 20188-0341
<http://www.warrentonva.gov>
TELEPHONE (540) 347-1101
FAX (540) 349-2414
TDD 1-800-828-1120

ARCHITECTURAL REVIEW BOARD

Staff Analysis COA 16-14

April 28, 2016

Applicant: Jennifer Judd
Owner: Kane Manor Farm LLC.
Lessee: Nationwide – Hutcheson Agency
Address: 81B Main Street
GPIN: 6984-43-5473
Zoning: Central Business District – CBD
Type: Sign

Proposal:

This is a retroactive application for the replacement of an existing wooden projecting sign with a new projecting sign composed of High Density Urethane (HDU). The new sign is the same size as the existing sign at 6.5 square feet. The previous wooden sign was considered grandfathered because it was approved by the Architectural Review Board and erected prior to the update of the Guidelines.

Historic and Architectural Significance:

According to the 1998 Historic Resource survey, this building was constructed in 1854 by the Methodist Church and historically known as the Warrenton Town Hall from 1870 forward. This two-story, three-bay brick Greek Revival building has a pedimented gable front with bracketed eaves, brick pilasters with capitals, a molded brick cornice and recessed panels around the windows. The building is three bays long with a small one-story brick addition on the rear. There is evidence of former arched doors and windows on the first story, but these have been replaced with modern storefronts at some point in the building's history.

This lot was purchased by the Methodist Church in 1848 and a church was built on site in 1854. The Town bought the property in 1870 and used the building for the Town Hall, school and fire hall. The Fire Department used the building until 1977 when it was remodeled for commercial use. This impressive Greek Revival building has strong proportions and makes a significant contribution to the historic and architectural character of the Warrenton commercial district.

Zoning Ordinance Considerations:

The subject property is zoned Central Business District (CBD) and is located in the downtown area. Requirements for projecting signs in the CBD are identified in Article 6-2.5.5. Projecting signs are limited to one sign per business on the premises, and may not exceed thirty-two (32) square feet in area. A minimum of eight (8) feet of clearance must be maintained above the sidewalk (6-1.6.15). Historic District Guidelines recommend signs be less than six (6) square feet.

Staff may administratively approve a projecting sign that meets the following criteria:

- A projecting sign of up to six (6) square feet may be administratively approved.
- Projecting signs must be square, rectangular, round, or oval. The sign may have rounded or notched corners.
- Wood and MDO are acceptable materials for use if they are painted.
- A sign approved administratively may contain no more than 3 colors, background included. Colors deemed by staff to be potentially too bold, bright, or fluorescent will require review and approval by the Architectural Review Board.
- Lettering may be applied by painting or applying vinyl letters.
- Lettering style must be consistent with the Historic District Guidelines. Lettering is limited to 50 characters or less. Lettering size must meet requirements of the Zoning Ordinance.
- Graphics, company/organization logos, etc. may be approved administratively. Graphics and logos must consist of **solid, uniform** colors. Colors utilized by the graphic/logo count towards the total number of colors (3) allowed for administrative approval. Graphics and logos will be limited to two (2) square feet, measured horizontally and vertically at its widest points.
- The use of trim and borders are acceptable and should adhere to above color requirements. Trim and borders must consist of a solid, uniform color for administrative approval. Simple lines for the purpose of delineating and separation of information are to be considered “trim and borders”, and may be administratively approved. For the purposes of administrative approval, a line is considered the shortest distance between two points.

Since the proposed sign is larger than six square feet and comprised of HDU, Architectural Review Board approval is required.

The Warrenton Historic District Guidelines offer the following for signs in general:

Sign requests will be considered relative to the individual characteristics, size and scale of the building, existing signage and site conditions. Although sign regulations in Article 6 represent maximum permitted signage, the size may be reduced for the size and scale of the building as deemed appropriate by the Architectural Review Board to meet the provisions of Article 3 HD-Historic District.

The Historic District Guidelines offer the following for projecting signs:

1. *The bottom edge of the projecting sign should be eight (8) feet above the sidewalk.*
2. *Projecting signs should not be larger than six (6) square feet. The sign panel should have a minimum six-inch (6") clearance from the face of the building, and extend to its outermost part less than four (4) feet. Projecting signs will be reviewed according to their scale and size and to the scale and size of the building to which they are proposed.*
4. *Vinyl, plastic or internally lit signs are not be appropriate in the Historic District.*
6. *Projecting signs should be of painted wood material. Wood molding or metal trim may be added for a more finished appearance. All components should be completely primed before assembling and painting.*
12. *Franchise businesses often have generically used signage that is frequently oversized, overstated, synthetic or plastic and inappropriate for use in historic districts. Such signage is inappropriate in the Warrenton Historic District.*

Analysis and Staff Recommendation:

The projecting sign must comply with the Zoning Ordinance. The Historic District Guidelines states that “*Sign requests will be considered relative to the individual characteristics, size and scale of the building, existing signage and site conditions.*” Staff leaves it to the Board’s discretion in determining the appropriateness of the projecting sign. If approved, a sign permit must be acquired.

RECEIVED

Sign 2016-22

**Application for Sign Permit
Town of Warrenton, Virginia**

MAR 30 2016

Sign Doctor Sales & Service, Inc.

Date 03/28/2016

Applicant Name

Date

COMMUNITY DEVELOPMENT
TOWN OF WARRENTON

Phone Number 540-743-5200 or 540-742-8478

I hereby apply to Replace with new logo on same size sign as existing sign
(erect, alter, rehang, replace)

a Projecting sign at
(Type - wall, ground, or projecting sign)

81B Main Street currently
(Location - street address)

known as Nationwide (Hutcheson Agency)
(Name of Business)

Property Information

Parcel Identification Number (P.I.N.) _____ Zone _____

Subdivision Name 81B Main Street Parcel No. or Lot No. _____

Size of Lot _____ Lot Frontage _____ Number of Existing Signs 1

Area (sq. ft.) involved in Existing Signs 6.5 Area (sq. ft.) of building front _____

Is this property in the Historic District? _____ If so it is required that this application be approved by the Architectural Review Board, before a sign permit can be issued.

New Sign Information

Size of Sign Same As Existing - 2'2" x 3' Sign Area (sq. ft.) 6.5

Material sign will be constructed of Wood

Will the sign be illuminated? No If so, the type of illumination _____

Notes:

1. No flashing, intermittent or moving lights may be used.
2. Signs may not extend closer than 2 feet to the curb line.
3. A bond or Certificate of Liability Insurance will be required on all signs which project over street lines or which are installed closer to the street line than the height of the sign.
4. Submit this form with a drawing of the sign with all dimensions, colors, materials etc. and a sketch of the sign location with all appropriate dimensions.

Continue on Back of the Form...

Complete the Appropriate Section

Sign Attached to Building (wall or projecting) Sign on Free Standing Structure (ground)

Distance projecting from building _____ Total Height of Sign _____

Distance from curb line _____ Distance from Right of Way _____

Distance projecting into street _____ Distance from side lot line _____

Minimum Clearance under sign _____ Thickness of sign _____

Other Same As Existing - No Change _____ Height to bottom of Sign _____

Signature of Applicant  _____

Signature of Property Owner _____

Date 03/28/2016 _____

*** **

Town Staff Use ONLY

Wall Sign:

Percentage of wall area in Sign _____ Total signage on wall _____

Ground Sign:

Height _____ Sign Area _____ Curb Island _____

Fee for sign permit \$ _____ Date Approved _____

Zoning Administrator Approval _____

*** **

TOWN OF WARRENTON, VIRGINIA
18 Court Street, P.O. Drawer 341
Warrenton, VA 20188-0341
(540) 347-2405

AFFIDAVIT

I hereby certify that the proposed work is authorized by the owner of record of the property identified on the front of this application and I have been authorized by the owner to make this application as his authorized agent.

Please print your name: Jennifer Judd
Signature of Agent: Jennifer Judd - Sign Doctor Sales & Service, Inc.
Address: 81 B Main Street Warrenton VA - Job Location
Nationwide
Phone Number: 540-743-5200

DEPARTMENT OF PROFESSIONAL AND OCCUPATIONAL REGULATION
COMMONWEALTH OF VIRGINIA

EXPIRES ON
06-30-2016

9960 Mayland Dr., Suite 400, Richmond, VA 23233
Telephone: (804) 367-8500

NUMBER
2705132013

BOARD FOR CONTRACTORS
CLASS B CONTRACTOR
INVALID ON JOBS \$120,000 OR MORE
CLASSIFICATIONS BLD BSC

SIGN DOCTOR SALES & SERVICE INC
24 ZERKEL STREET
LURAY, VA 22835



Jan W. DeBoer
Jan W. DeBoer, Director

ALTERATION OF THIS DOCUMENT, USE AFTER EXPIRATION, OR USE BY PERSONS OR FIRMS OTHER THAN THOSE NAMED MAY RESULT IN CRIMINAL PROSECUTION UNDER THE CODE OF VIRGINIA.

(SEE REVERSE SIDE FOR NAME AND/OR ADDRESS CHANGE)

SANDBLASTED HDU

SCALE: 1" = 1'-0"



RECEIVED
 MAR 30 2016
 COMMUNITY DEVELOPMENT
 TOWN OF WARRENTON



EXISTING



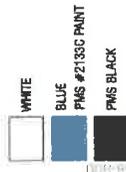
SCOPE OF WORK:
 REMOVE EXISTING WOODEN SIGN.
 REPLACE WITH NEW HDU SANDBLASTED
 SIGN MOUNTED TO BRACKETS AS
 REQUIRED.

PROPOSED



SANDBLASTED SIGN DETAIL

MIN PBLT-180 HDU SUBSTRATE
 3" THICK
 DOUBLE SIDED
 RECESS; SEALED/PRIMED ALL SIDES;
 PAINTED WHITE
 COPY & LOGO PAINTED AS SHOWN



Houston
 Dallas
 Scottsdale

Houston Corporate Office
 5225 Katy Freeway, Suite 350
 Houston, Texas 77007
 713-877-1900
 Fax: 713-877-1903

Dallas Regional Office
 2220 San Jacinto Blvd.
 Suite 365
 Denton, Texas 76205
 940-388-9183
 FAX: 940-380-9385

Scottsdale Regional Office
 11333 N Scottsdale Rd, Suite 160
 Scottsdale AZ, 85254

Site Number: ADL04654 R1
 Address: 81b Main St
 Warrenton, VA
 City: 20186

State: _____
 Sales Rep: L. MONROE
 Account Rep: S. BEYER

APPROVALS
 CLIENT _____
 DESIGN _____
 PROD. _____
 Designer: R. ADAIR/EG

DATE: 9-17-15

Rev. Date: 12-29-15

LEADING WARRANTY
 Against: 3 years



4:6

The purchaser agrees to hold the vendor harmless against any cause for action for damage which may occur as a result of drilling for pipes and conduits, including but not limited to, wires, gas lines or any underground utilities which the purchaser or others may deem reliable.

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.

WINDOW VINYL

SIGN 2

SCALE: 3" = 1'-0"



Auto | Home | Life | Business

SCOPE OF WORK

REMOVE EXISTING VINYL AS SHOWN,
CLEAN GLASS
MANUFACTURE &
APPLY NEW VINYL GRAPHICS

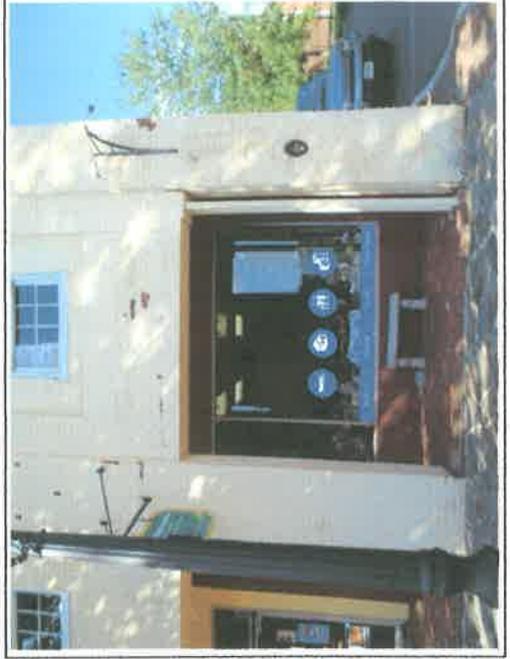
COLOR SCHEDULE

	WHITE
	BLUE
	3M 5632-6008

EXISTING



PROPOSED



Houston
Dallas
Scottsdale

Houston Corporate Office
5225 Katy Freeway, Suite 350
Houston, Texas 77057
713-877-7000
Fax 713-877-7003

Dallas Regional Office
2220 Sam Houston Blvd.
Dallas, Texas 75205
940-380-9153
FAX: 940-380-9595

Scottsdale Regional Office
11333 N Scottsdale Rd, Suite 180
Scottsdale AZ, 85254



Site Number: AOL04654
Address: 81b Main St
Warrenton, VA
City: 20186
State: _____
Sales Rep: L. MONROE
Account Rep: S. BEYER
APPROVALS _____
CLIENT _____
DESIGN _____
PROD. _____
Designer: R. ADAIR

DATE: 9-17-15
Rev. Date: _____

LEADING WARRANTY
Available - 5 years

DESIGN BY: J. L. OFFICE
FOR SIGNAGE & GRAPHICS
BY: J. L. OFFICE
ELECTRIC, INC.

5:6

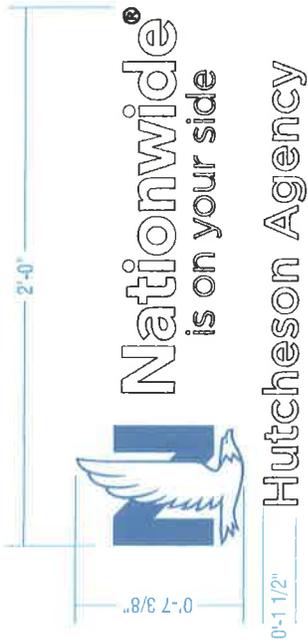
The purchaser agrees to hold the vendor harmless against any claims for damages or injury for errors and omissions, including but not limited to creative, graphic design or any other services which the purchaser or others may deem valuable.

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.

DOOR / WINDOW VINYL

SIGN 3

SCALE: 1 1/2" = 1'-0"



0'-1 1/8" BUSINESS HOURS

0'-1" MON. 9-5
 TUE. 9-5
 WED. 9-5
 THU. 9-5
 FRI. 9-5

SCOPE OF WORK

- REMOVE EXISTING VINYL AS SHOWN, CLEAN GLASS
- MANUFACTURE & APPLY NEW VINYL GRAPHICS

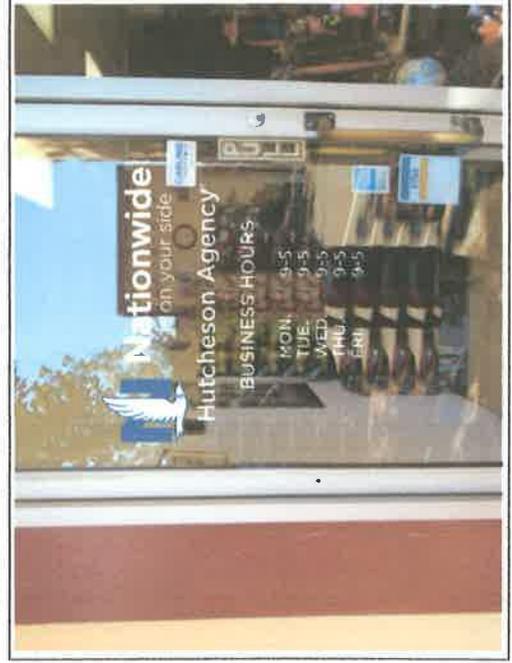
COLOR SCHEDULE

WHITE
 BLUE
 3M 5632-6308

EXISTING



PROPOSED



SS SIGNS

Houston
 Dallas
 Scottsdale

Houston Corporate Office
 5225 Katy Freeway, Suite 350
 Houston, Texas 77007
 Phone: 713-877-7600
 Fax: 713-877-7903

Dallas Regional Office
 2220 San Jacinto Blvd.
 Houston, Texas 76205
 Phone: 940-380-9153
 Fax: 940-380-9395

Scottsdale Regional Office
 11333 N Scottsdale Rd, Suite 160
 Scottsdale, AZ, 85254



Site Number: **AOL04654**
 Address: **81b Main St
 Warrenton, VA**
 City: **20186**
 State: _____
 Sales Rep: **L. MONROE**
 Account Rep: **S. BEYER**
 APPROVALS _____
 CLIENT _____
 DESIGN _____
 PROD. _____
 Designer: **R. ADAIR**

DATE: **9-17-15**
 Rev. Date: _____

LEADING WARRANTY
 Available - 5 years

PRINTED IN U.S.A.
 Manufactured by
 SS SIGNS, Inc.
 Scottsdale, AZ

6:6

The purchaser agrees to hold the other harmless against any claim for action for damage which may arise from the use of the sign and to indemnify the sign manufacturer and not be bound by any state laws or any jurisdictional districts which the purchaser or others may deem valuable.

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.



1 HR
PARKING
M - 6 PM
W - SAT

81B

Nationwide
is on your side
Hutcheson Agency
BUSINESS HOURS
MON. 9-5
TUE. 9-5
WED. 9-5
THU. 9-5
FRI. 9-5

OPEN

Brett
HAMBY

Hutcheson Agency



Auto | Home | Life | Business

04.07.2016